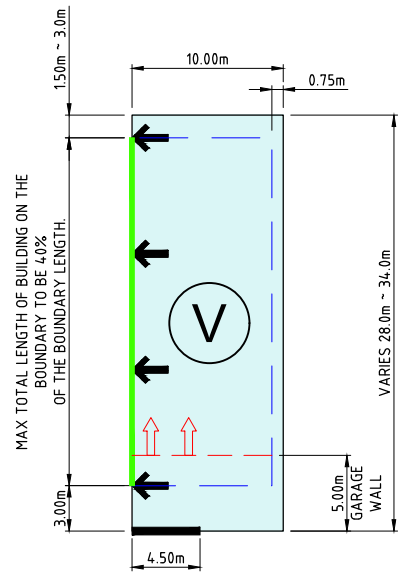
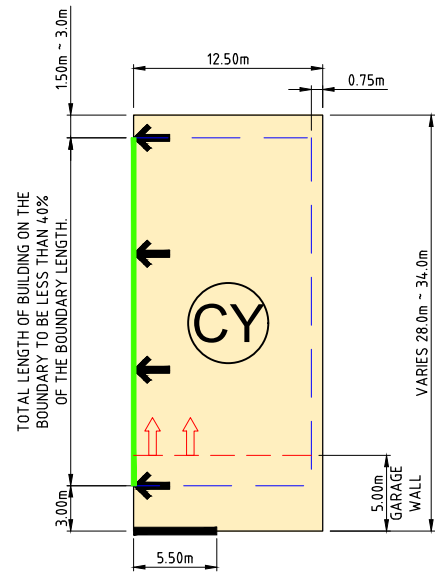


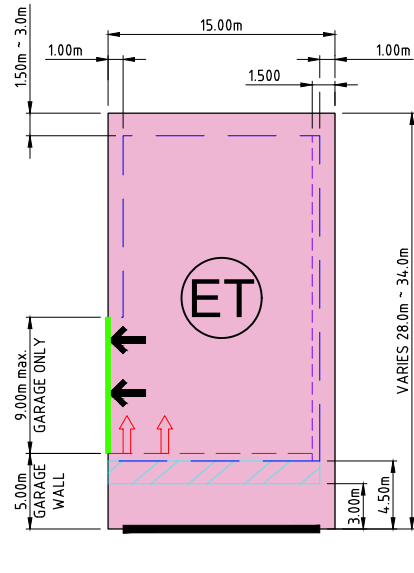
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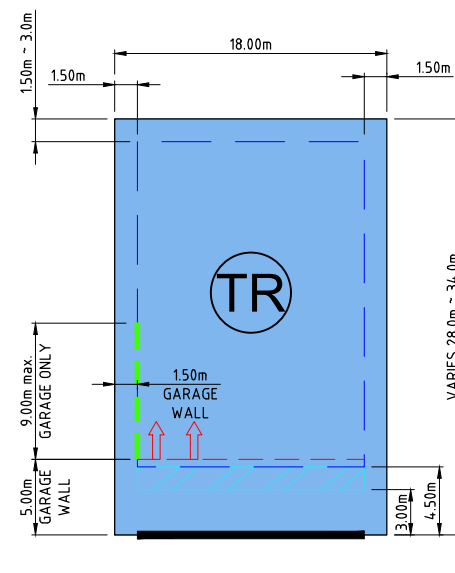
**VILLA**  
SCALE 1:250



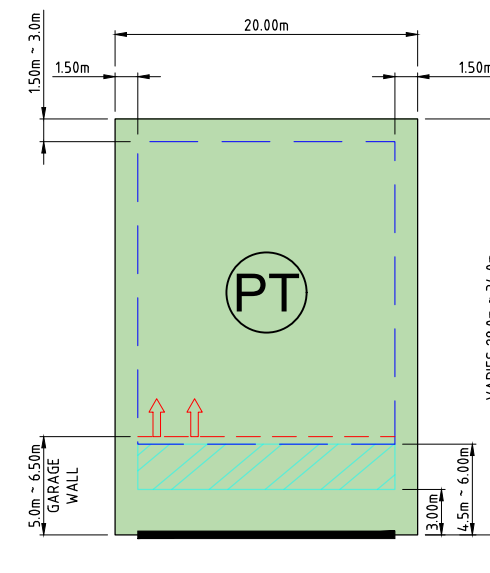
**COURTYARD**  
SCALE 1:250



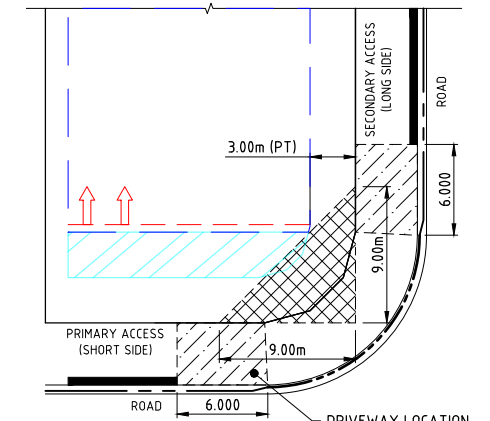
**ECONOMY TRADITIONAL**  
SCALE 1:250



**TRADITIONAL**  
SCALE 1:250



**PREMIUM TRADITIONAL**  
SCALE 1:250



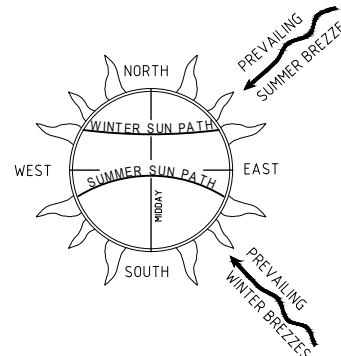
**CORNER LOT**  
SCALE 1:250

**BUILDING ENVELOPE**

- DIMENSIONS SHOWN APPLY TO SINGLE STOREY (4.5m HIGH OR LESS) CLASS 1 BUILDINGS ONLY. THE PROVISIONS OF THE QUEENSLAND DEVELOPMENT CODE (QDC) OTHERWISE APPLY TO CLASS 1 TWO STOREY (4.5m HIGH OR MORE) BUILDINGS.
- THE PROVISIONS OF THE QDC APPLY FOR CLASS 10A BUILDINGS AND CLASS 10B STRUCTURES. EXCEPTING THAT DETACHED CARPORTS AND SHEDS SHALL NOT BE CONSTRUCTED FORWARD OF THE BUILDING ENVELOPE ALIGNMENT TO THE STREET FRONTAGE AND SHALL NOT BE CONSTRUCTED FORWARD OF THE MAIN BUILDING LINE OF THE DWELLING HOUSE.
- ALL SETBACK DISTANCES ARE TAKEN FROM THE OUTERMOST PROJECTION (OMP), AS DEFINED BY THE QDC UNLESS OTHERWISE STATED.
- ALL SETBACKS SHOWN ARE MINIMUM DISTANCES AND MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER OR ADJACENT TO SEWERAGE SERVICES. ACTUAL SETBACKS SHALL BE CONFIRMED FROM THE AS CONSTRUCTED SEWER INFORMATION.
- THE MAXIMUM LENGTH OF BUILT-TO-BOUNDARY WALL ON VILLA AND COURTYARD ALLOTMENTS SHALL NOT EXCEED 40% OF THE BOUNDARY LENGTH, WITH A MAXIMUM SINGLE WALL SECTION LENGTH NOT EXCEEDING 9.0m. ALL BUILT-TO-BOUNDARY WALL SECTIONS SHALL BE FOR NON-HABITABLE ROOMS ONLY. HABITABLE ROOMS SHALL OTHERWISE ADOPT A MINIMUM SETBACK COMPLIANT WITH SECTION A2 OF MP11 AND MP12 OF THE QDC.
- THE MAXIMUM LENGTH OF BUILT-TO-BOUNDARY ON ECONOMY TRADITIONAL ALLOTMENTS OR CLOSE-TO BOUNDARY WALL ON TRADITIONAL ALLOTMENTS SHALL BE A MAXIMUM SINGLE WALL SECTION OF 9.0m FOR THE BENEFIT OF A GARAGE ONLY.
- THE BUILT-TO-BOUNDARY SETBACK SHALL ALLOW FOR THE PROVISION OF FIXED GUTTERING TO THE DWELLING FASCIA WHICH SHALL BE CONNECTED TO A PIPED UNDERGROUND STORMWATER DRAINAGE SYSTEM DISCHARGING TO THE STREET FRONTAGE.
- SECONDARY FRONT BOUNDARY SETBACKS OF CORNER ALLOTMENTS, REFER TABLE 1.
- SETBACKS ON CORNER ALLOTMENTS SHALL ADOPT A MINIMUM 9.0m X 9.0m TRUNCATION BETWEEN THE PRIMARY AND SECONDARY FRONT BOUNDARIES PURSUANT TO THE QDC.
- ALLOWABLE DRIVEWAY ACCESS LOCATIONS ARE SHOWN INDICATIVELY AND ACTUAL LOCATIONS SHALL BE CLEAR OF ALL APPURTENANCES VIZ. PILLAR BOX, SERVICE PITS, LOT WATER OFF-TAKES AND SUBSOIL FLUSH POINTS IN ACCORDANCE WITH COUNCIL STANDARDS.

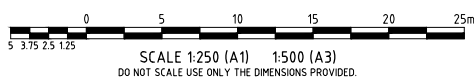
**CLIMATICALLY RESPONSIVE BUILDING DESIGN**

- ALLOTMENTS ALLOCATED A BUILT-TO-BOUNDARY SETBACK SHALL BE TYPICALLY DESIGNED AND LOCATED SUCH THAT THE BUILT-TO-BOUNDARY WALL IS LOCATED ON THE WESTERN OR SOUTHERN ORIENTATED BOUNDARY TO MAXIMISE THE PREVAILING BREEZE AND SOLAR ORIENTATION ON THE ALTERNATE BOUNDARY.
- THE FOLLOWING DESIGN PARAMETERS SHOULD BE CONSIDERED DURING THE DESIGN PHASE OF PROPOSED DWELLINGS:
  - A BUILDING ORIENTATION THAT MINIMISES THE LENGTH OF EXTERNAL WALL AREAS THAT ARE EXPOSED TO SOLAR RADIATION;
  - AN INTERNAL LAYOUT THAT ENSURES THE LIVING AREAS ARE PROTECTED FROM SUMMER SOLAR RADIATION (IE, LIVING AREAS ORIENTATED NORTH TO NORTH-EAST AND SERVICE AREAS ARE ORIENTATED TO THE WEST AND SOUTH);
  - BUILDING PROJECTIONS ARE USED TO MINIMISE SUMMER SOLAR RADIATION TO EXTERNAL WALLS (IE, CARPORTS, LARGE OVERHANGS AND EXTERNAL SCREENS) AND ARE INCORPORATED TO FULLY SHADE WESTERN AND SOUTH-WEST FACING EXTERNAL WALLS; AND
  - A BUILDING LAYOUT THAT MAXIMISES THE CAPTURE OF PREVAILING BREEZES (LIVING AREA WINDOWS AND DOORS ARE ORIENTATED TO THE NORTH-EAST AND ROOM LAYOUTS AND INTERNAL ACCESS WAYS ARE DESIGNED TO MAXIMISE CROSS VENTILATION).



**LEGEND**

- BUILDING ENVELOPE (OMP)
- BUILDING ENVELOPE SETBACK TO WALL
- BUILDING ENVELOPE (OMP) PORTICO / OPEN ENTRY PORCHES ONLY
- BUILT-TO-BOUNDARY LINE
- BUILT-TO-BOUNDARY LINE (GARAGE WALL ONLY)
- CLOSE-TO-BOUNDARY LINE (GARAGE WALL ONLY)
- ALLOWABLE DRIVEWAY ACCESS
- GARAGE LOCATION MINIMUM SETBACK TO GARAGE WALL, MINIMUM 500mm BEHIND FRONT BUILDING LINE (IF MORE THAN ONE ALLOWABLE DRIVEWAY ACCESS IS ACHIEVABLE, IDENTIFIES PREFERRED LOCATION)



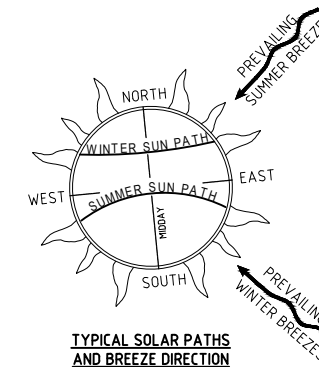
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D	LOT TYPES UPDATED	LW	LW	CH		16/01/23	
C	LOT DETAILS AND NOTES AMENDED	LW	LW	CH		12/12/23	
B	LOT ADDED, LOT MIX AMENDED	LW	LW	WES	PI	09/11/22	
A	ORIGINAL ISSUE - RAL APPLICATION	MC	LW	WES	PI	17/08/22	
No.	Amendments	Drawn	Design	Design	Chk	Appd	Date



Client	<b>URBEX PTY LTD</b>	Datum	AHD
Project	<b>SOMERS &amp; HERVEY ESTATE, RASMUSSEN</b>	PSM	114264
Title	<b>PRECINCT 1 LOT TYPE DETAIL</b>	RL	19.281
		TRUN.	MGA
		<b>FOR APPROVAL</b>	
		Project No.	Drawing No.
		<b>B00412-P1-CG07</b>	<b>E</b>

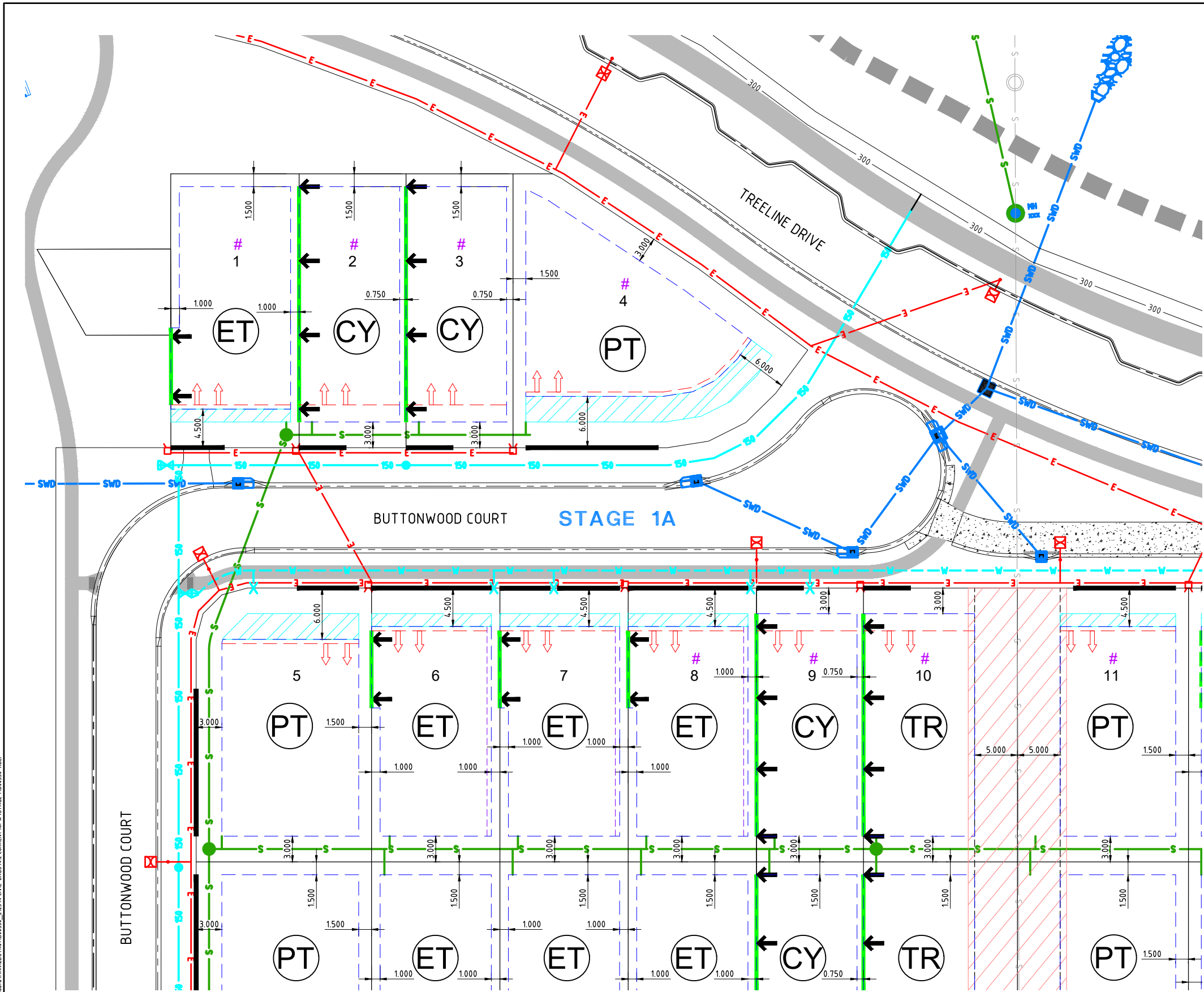
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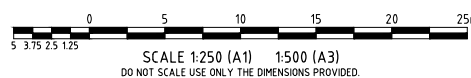
- LEGEND**
- STAGE BOUNDARY
  - BUILDING ENVELOPE (OMP)
  - BUILDING ENVELOPE SETBACK TO WALL
  - BUILDING ENVELOPE (OMP) PORTICO / OPEN PORCHES ONLY
  - PREMIUM TRADITIONAL, TRADITIONAL, ECONOMY TRADITIONAL, COURTYARD AND VILLA
  - ALLOTMENT DESIGNATED FOR DUAL OCCUPANCY
  - ALLOTMENT DESIGNATED FOR ICON LOT DEVELOPMENT
  - BUILD-TO-BOUNDARY LINE
  - BUILD-TO-BOUNDARY LINE (GARAGE WALL ONLY)
  - CLOSE-TO-BOUNDARY LINE (GARAGE WALL ONLY)
  - ALLOWABLE DRIVEWAY ACCESS
  - PREFERRED GARAGE LOCATION
  - SEWER MAIN
  - SEWER CONNECTION
  - WATER MAIN - uPVC
  - WATER MAIN - POLY
  - WATER CONNECTION
  - ELECTRICAL NETWORK
  - ELECTRICAL PILLAR CONNECTION
  - ELECTRICAL STREET LIGHT
  - NBN NETWORK
  - NBN CONNECTION
  - STORMWATER LINE
  - RETAINING WALL
  - CONCRETE FOOTPATH
  - ZONE OF INFLUENCE FOR BUILDING ADJACENT TO TRUNK SEWER MAIN
  - HATCH 1 - EXISTING RETAINING WALL ZONE OF INFLUENCE
  - HATCH 2 - PROPOSED RETAINING WALL ZONE OF INFLUENCE

**NOTE:**  
ALL STRUCTURES CONSTRUCTED WITHIN THE IDENTIFIED ZONE OF INFLUENCE ARE TO BE DESIGNED NOT TO EXCEED THE DESIGN SURCHARGE OF THE RETAINING WALL AND ARE TO BE CERTIFIED BY AN RPEQ WITH THE RELEVANT STRUCTURAL QUALIFICATIONS.



JOINS DRAWING No. B00530-ABEP03

JOINS DRAWING No. B00530-ABEP02



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1	ISSUED FOR CONSTRUCTION	MC	LW	CH	MKB	03/10/23

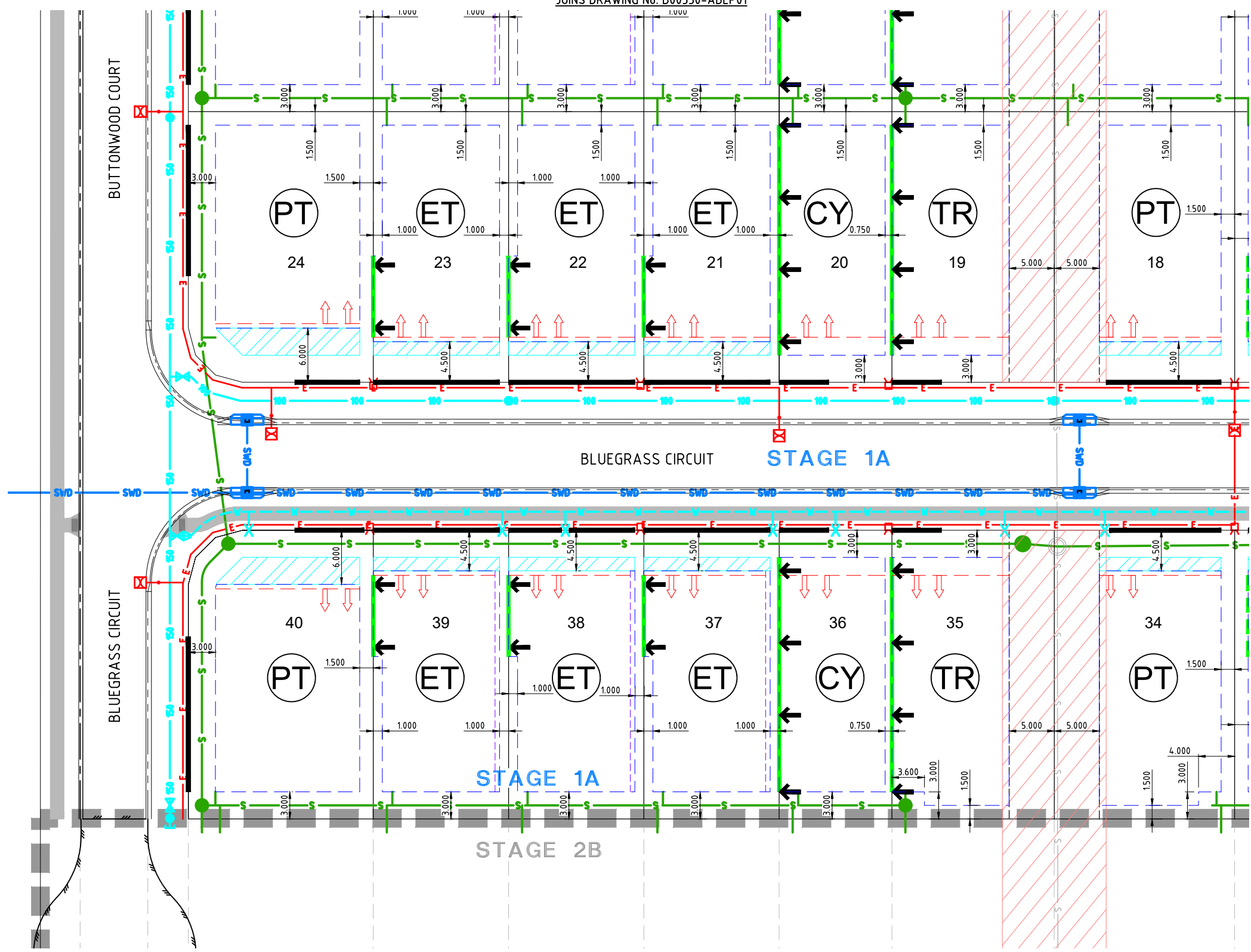
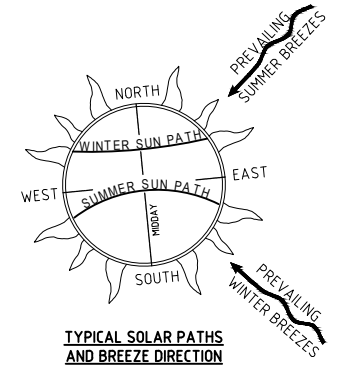
  

Registered Engineer				
Date	Register			
ENGINEERING CERTIFICATION				
Drawn	Design	Design Chk	Appd	Date

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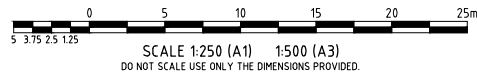
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Project	BLUEWATTLE ESTATE - STAGE 1	RL	19.281	TRUN. MGA	
Title	ACCESS AND BUILDING ENVELOPE PLAN	Project No.	B00530-ABEP01	Drawing No.	3
	SHEET 1 OF 4	Rev			



**LEGEND**

- STAGE BOUNDARY
- BUILDING ENVELOPE (OMP)
- BUILDING ENVELOPE SETBACK TO WALL
- BUILDING ENVELOPE (OMP) PORTICO / OPEN PORCHES ONLY
- PREMIUM TRADITIONAL, TRADITIONAL, ECONOMY TRADITIONAL, COURTYARD AND VILLA
- ALLOTMENT DESIGNATED FOR DUAL OCCUPANCY
- ALLOTMENT DESIGNATED FOR ICON LOT DEVELOPMENT
- BUILD-TO-BOUNDARY LINE
- BUILD-TO-BOUNDARY LINE (GARAGE WALL ONLY)
- CLOSE-TO-BOUNDARY LINE (GARAGE WALL ONLY)
- ALLOWABLE DRIVEWAY ACCESS
- PREFERRED GARAGE LOCATION
- SEWER MAIN
- SEWER CONNECTION
- WATER MAIN - uPVC
- WATER MAIN - POLY
- WATER CONNECTION
- ELECTRICAL NETWORK
- ELECTRICAL PILLAR CONNECTION
- ELECTRICAL STREET LIGHT
- NBN NETWORK
- NBN CONNECTION
- STORMWATER LINE
- RETAINING WALL
- CONCRETE FOOTPATH
- ZONE OF INFLUENCE FOR BUILDING ADJACENT TO TRUNK SEWER MAIN
- HATCH 1 - EXISTING RETAINING WALL ZONE OF INFLUENCE
- HATCH 2 - PROPOSED RETAINING WALL ZONE OF INFLUENCE

**NOTE:**  
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2	ISSUED FOR CONSTRUCTION	NC	LW	CH	CH	06/02/24
1	ISSUED FOR CONSTRUCTION	MC	LW	CH	MKB	03/10/23

**ENGINEERS & PROJECT MANAGERS**  
ABN 23 010 743 692

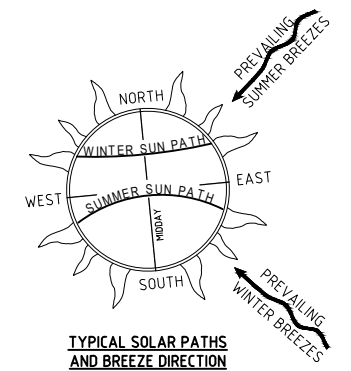
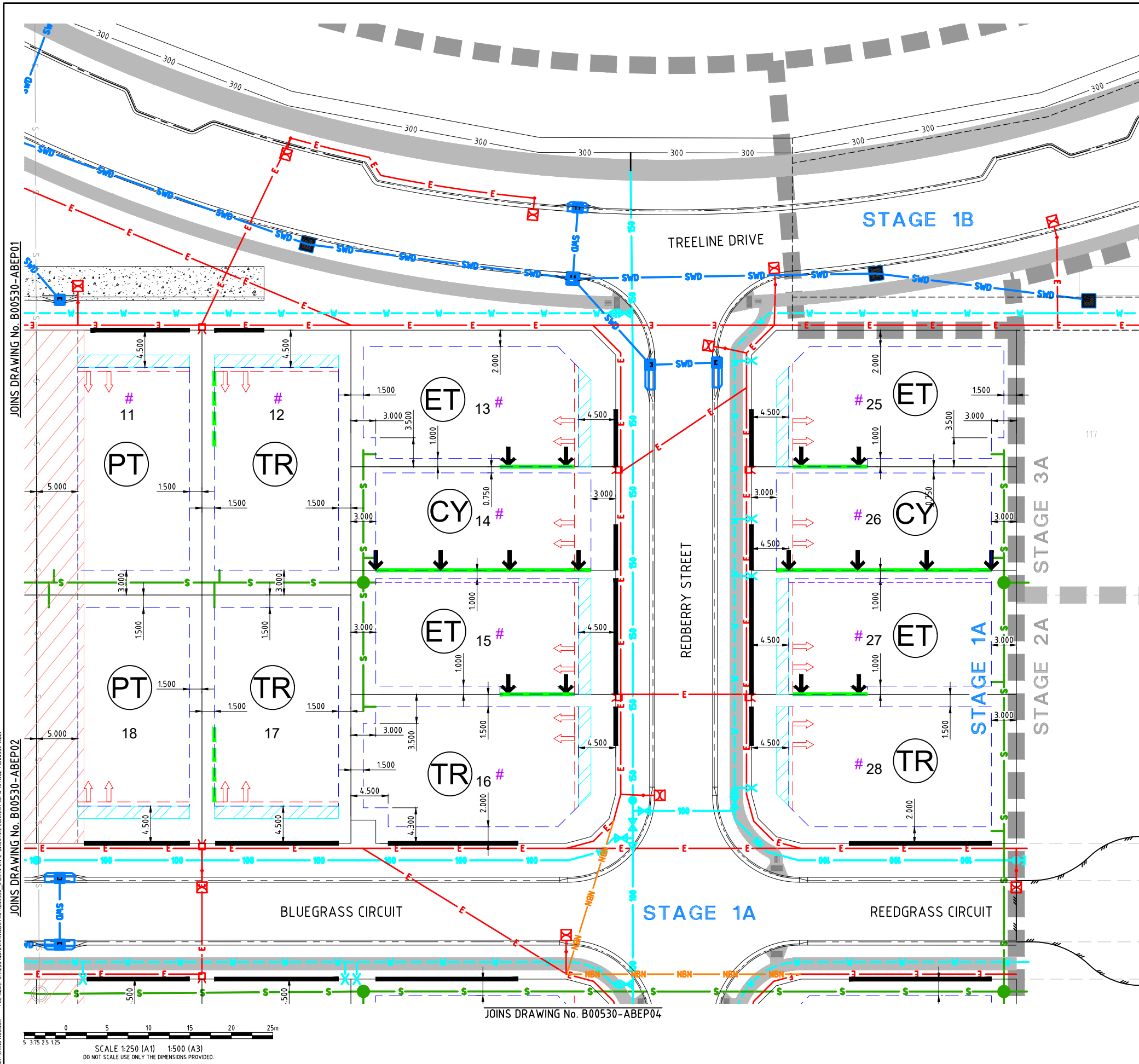
Registered Engineer

Date Register

ENGINEERING CERTIFICATION

Client	URBEX PTY LTD	Datum	AHD
Project	BLUEWATTLE ESTATE - STAGE 1	PSM	114264
Title	ACCESS AND BUILDING ENVELOPE PLAN	RL	19.281
	SHEET 2 OF 4	TRUN.	MGA
		Project No.	B00530-ABEP02
		Drawing No.	
		Rev	3

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- LEGEND**
- STAGE BOUNDARY
  - BUILDING ENVELOPE (OMP)
  - BUILDING ENVELOPE SETBACK TO WALL
  - BUILDING ENVELOPE (OMP) PORTICO / OPEN PORCHES ONLY
  - PREMIUM TRADITIONAL, TRADITIONAL, ECONOMY TRADITIONAL, COURTYARD AND VILLA
  - ALLOTMENT DESIGNATED FOR DUAL OCCUPANCY
  - ALLOTMENT DESIGNATED FOR ICON LOT DEVELOPMENT
  - BUILD-TO-BOUNDARY LINE
  - BUILD-TO-BOUNDARY LINE (GARAGE WALL ONLY)
  - CLOSE-TO-BOUNDARY LINE (GARAGE WALL ONLY)
  - ALLOWABLE DRIVEWAY ACCESS
  - PREFERRED GARAGE LOCATION
  - SEWER MAIN
  - SEWER CONNECTION
  - WATER MAIN - uPVC
  - WATER MAIN - POLY
  - WATER CONNECTION
  - ELECTRICAL NETWORK
  - ELECTRICAL PILLAR CONNECTION
  - ELECTRICAL STREET LIGHT
  - NBN NETWORK
  - NBN CONNECTION
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  - RETAINING WALL
  - CONCRETE FOOTPATH
  - ZONE OF INFLUENCE FOR BUILDING ADJACENT TO TRUNK SEWER MAIN
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JOINS DRAWING No. B00530-ABEP01  
 JOINS DRAWING No. B00530-ABEP02  
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1	ISSUED FOR CONSTRUCTION	MC	LW	CH	MKB	03/10/23

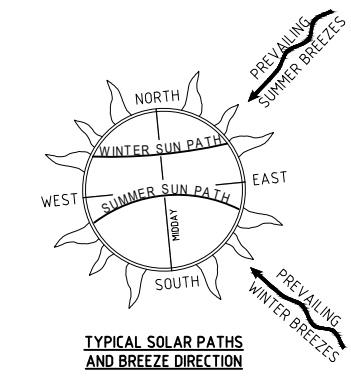
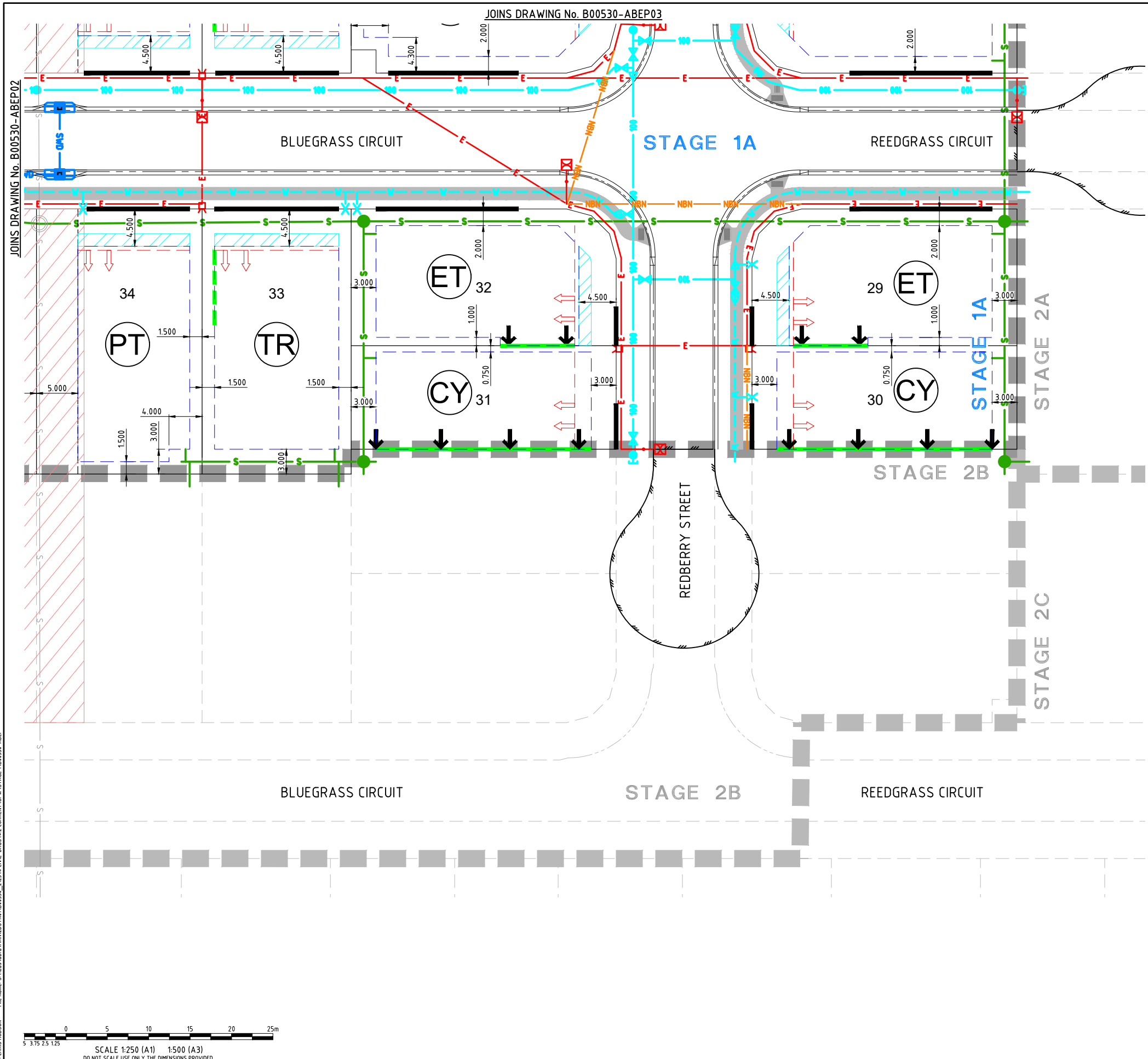
  

Registered Engineer				
Date	Register			
ENGINEERING CERTIFICATION				
Drawn	Design	Design Chk	Appd	Date

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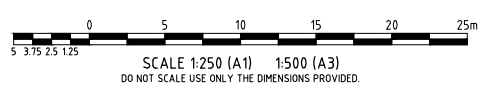
**ENGINEERS & PROJECT MANAGERS**  
ABN 23 010 743 692

Client	URBEX PTY LTD		
Project	BLUEWATTLE ESTATE - STAGE 1	Da/um	AHD
		PSM	114264
		RL	19.281
		TRUN.	MGA
Title	ACCESS AND BUILDING ENVELOPE PLAN	<b>FOR CONSTRUCTION</b>	
	SHEET 3 OF 4	Project No.	Drawing No.
		B00530-ABEP03	3



- LEGEND**
- STAGE BOUNDARY
  - BUILDING ENVELOPE (OMP)
  - BUILDING ENVELOPE SETBACK TO WALL
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  - BUILD-TO-BOUNDARY LINE (GARAGE WALL ONLY)
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  - SEWER CONNECTION
  - WATER MAIN - uPVC
  - WATER MAIN - POLY
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  - ELECTRICAL NETWORK
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2	ISSUED FOR CONSTRUCTION	NC	LW	CH	CH	06/02/24
1	ISSUED FOR CONSTRUCTION	MC	LW	CH	MKB	03/10/23

Registered Engineer	
Date	Register
ENGINEERING CERTIFICATION	



Client	URBEX PTY LTD	Datum	AHD
Project	BLUEWATTLE ESTATE - STAGE 1	PSM	114264
Title	ACCESS AND BUILDING ENVELOPE PLAN	RL	19.281
	SHEET 4 OF 4	TRUN.	MGA
		Project No.	B00530-ABEP04
		Drawing No.	
		Rev	3



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